

LIBERTY LAKE BUSINESS PARK
22425 E. APPLEWAY AVENUE
LIBERTY LAKE, WASHINGTON

ABBREVIATIONS

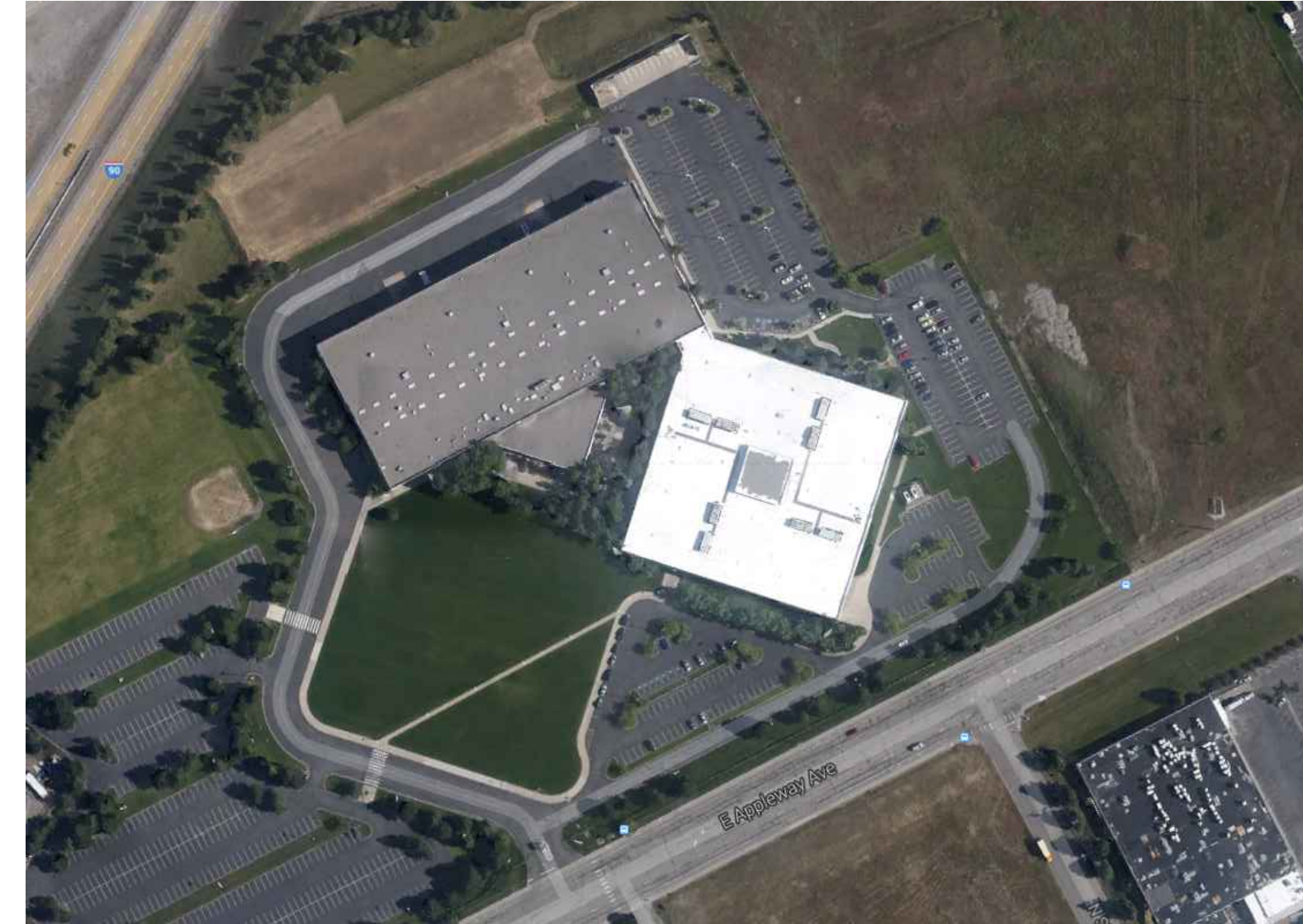
A	ACP	Asphalt Concrete Pavement	EQUIV.	Equivalent	P	Power
	ADD'L	Additional	EVC	End of Vertical Curve	PC	Point of Curvature
	AD	Area Drain	EXIST.	Existing	PV	Post Indicator Valve
	ADJ	Adjacent	FD	Floor Drain	PP	Power Pole
	ANSI	American National Standards Institute	FDC	Fire Department Connection	PL or RL	Property Line
	APPROX.	Approximate(y)	FDN	Foundation	PSF	Pounds Per Square Foot
	ARCH	Architect(ural)	FFE	Finish Floor Elevation	PSI	Pounds Per Square Inch
	ASSY	Assembly	FH	Fire Hydrant	PT	Point of Tangency
	BLDG	Building	FL	Flanged	PVC	Polyvinyl Chloride
	BM	Benchmark	FLR	Floor	PVI	Point of Vertical Intersection
B	BNDRY	Boundary	FOC	Face of Curb	QTY.	Quantity
	BOW	Bottom of Wall (at finished grade)	F.S.	Finished Surface	RAD (R)	Radius
	BVC	Beginning of Vertical Curve	FT (')	Foot (feet)	RCP	Reinforced Concrete Pipe
	CTV	Cable TV	FTG	Footing	RD	Road
	C&G	Curb and Gutter	G	Gas Main	REF	Reference
	CB	Catch Basin	GB	Grade Break	REQD.	Required
	CC	Concrete Curb	GM	Gas Meter	RET	Retaining
	CD	Concrete Drive	GRD	Grade	ROW	Right of Way
	CF	Cubic Feet (Foot)	GV	Gate Valve	SD	Storm Drain
	CJ	Cast Iron	HB	Hose Bibb	S.F.	Square Feet
C	CL	Construction Joint	HDPE	High Density Polyethylene	SHT	Sheet
	CL	Class	HORIZ(H)	Horizontal	SIM	Similar
	CL	Center Line	HT	Height	SPEC	Specification(s)
	CMP	Corrugated Metal Pipe	HYD	Hydrant	SQ	Square
	CONC.	Concrete	ID	Inside Diameter	SS	Sanitary Sewer
	CONST.	Construction	I.E.	Invert Elevation	STA	Station
	CPEP	Corrugated Polyethylene Pipe	IN (")	Inch(es)	STD	Standard
	CTR	Center(ed)	INV	Invert	TOE	Toe of Wall, or Slope
	CY	Cubic Yard	IRR	Irrigation Water	T	Telephone Wire
	DCVA	Double Check Valve Assembly	LB	Pound(s)	T.B.M.	Temporary Bench Mark
D	DDCV	Double Detector Check Valve	LCPE	Lined Corrugated Polyethylene Pipe	T.C.	Top of Curb
	DEPT.	Department	LF	Linear Feet	TG or RIM	Top of Grate
	DET	Detail	MAT'L	Material	TEMP.	Temporary
	D.I.	Ductile Iron	MAX	Maximum	TOP	Top of Slope
	DIA (ø)	Diameter	MFR	Manufacturer	TOW	Top of Wall
	DIM	Dimension	MH	Manhole	TV	Television Wire
	DS	Down Spout	MJ	Mechanical Joint	TYP.	Typical
	DWG	Drawing	MIN.	Minimum	VC	Vertical Curve
	E	East(ing)	MISC.	Miscellaneous	VERT (V)	Vertical
	EC	Electrical Conduit	N	North(ing)	WM	Water Meter
E	ECC	Extruded Concrete Curb	NO (#)	Number	w/	With
	EL.=	Elevation	OC	On Center	WT	Weight
	EOP	Edge of Pavement	O/W	Oil Water	WWF	Welded Wire Fabric

LEGEND

	STORM PIPE			TOP OF WALL/TOE OF WALL	
	NEW & EXISTING CATCH BASINS			SLOPE INDICATORS	
E	NEW & EXISTING DRYWELLS			RIP RAP	
	STORM MANHOLE			FILTER FABRIC FENCING	
	SANITARY SEWER PIPE			RAIN WATER LEADERS (RWL)	
	SANITARY SEWER MANHOLE			DOWNSPOUTS	
	WATER MAINS			CLEANOUTS (C.O.) SS, AND RWL (NEW AND EXISTING)	
F	FIRE HYDRANTS (NEW AND EXISTING) AND FDC			INTERCEPTOR AND BIO-SWALES	
	WATER METERS			CEMENT CONCRETE	
	WATER VALVES			COORDINATES, & LEADERS	
	FITTINGS WITH THRUST BLOCKS			STUBBED & PLUGGED LINE	
	SURFACE WIR AND PIPE DIRECTION FLOW			CONCRETE CURB	
G	EXISTING CONTOUR LABELS			CONCRETE CURB & GUTTER	
	PROPOSED CONTOUR LABELS			NEW ASPHALT/CONCRETE PAVEMENT	
	EXISTING SURFACE ELEVATIONS			CURB INLET/UNDER SIDEWALK INLET	
	FINISHED SURFACE ELEVATIONS			DRAINAGE SWALE	
H	NEW EASEMENT			RETAINING WALL	
	NEW DITCH			STRAW BALE	
	TRAFFIC ARROWS			ROCK CHECK DAM	

GENERAL CONSTRUCTION NOTES

- UNLESS SPECIFICALLY EXCEPTED IN THE PLANS OR CONTRACT DOCUMENTS, ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND STANDARD PLANS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION PROMULGATED BY THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND THE WASHINGTON CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION, (LATEST EDITION) AND THE CITY OF LIBERTY LAKE CONSTRUCTION STANDARDS.
2. THE PLANS ARE SCHEMATIC AND ARE NOT INTENDED TO DEPICT ALL DETAILS OF THE WORK REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE TO FAMILIARIZE HIMSELF WITH ACTUAL SITE CONDITIONS, REQUIREMENTS AND FACTORS AFFECTING THE WORK, WHERE LACK OF DETAIL OR CONFLICT EXISTS BETWEEN THESE AND OTHER PLANS, THE CONTRACTOR SHALL NOTIFY THE OWNER TO RESOLVE THE ISSUE PRIOR TO PROCEEDING. IF THE CONTRACTOR DISCOVERS ANY DISCREPANCIES BETWEEN THE PLANS AND EXISTING CONDITIONS ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AND THE ARCHITECT.
3. EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF SECTION 2-03 OF THE WSDOT STANDARD SPECIFICATIONS. ALL COMPACTION SHALL BE IN ACCORDANCE WITH SECTION 2-03.3(14)C, METHOD C FOR BUILDING PADS, METHOD B FOR OTHER AREAS.
4. THIS PLAN MAY NOT SHOW ALL EXISTING UTILITIES. EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES. CALL THE UNDERGROUND UTILITY LOCATION SERVICE AT (800) 424-5555 BEFORE YOU DIG. ANY CONFLICTING UTILITIES SHALL BE RELOCATED PRIOR TO CONSTRUCTION. IN THE CASE WHEN RELOCATION IS REQUIRED, THE APPLICABLE UTILITY COMPANY SHALL BE NOTIFIED AND ANY COST REFLECTING THE RELOCATION OR ADJUSTMENTS SHALL BE AGREED UPON.
5. ALL FINISHED GRADING ELEVATIONS SHALL MATCH EXISTING ELEVATIONS AT THE SITE'S BOUNDARY, EXCEPT AS SHOWN OTHERWISE ON THE GRADING PLAN. WHERE CONFLICTS EXIST, THE CONTRACTOR SHALL NOTIFY OWNER TO RESOLVE THE ISSUE PRIOR TO PROCEEDING.
6. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL WASTE MATERIAL. CONTRACTOR SHALL COORDINATE WITH PROPERTY OWNER FOR DISPOSAL OF EXCESS EXCAVATED MATERIAL ON PROPERTY.
7. GRADING: ALL GRADING SHALL BE LIMITED TO THE AREAS IDENTIFIED IN THE GRADING PLAN AND SHALL NOT INFRINGE ON ADJACENT OWNERSHIPS, EXCEPT AS SHOWN OTHERWISE ON THE PLANS.
8. THE CONTRACTOR IS REQUIRED TO HAVE A COMPLETE SET OF THE APPROVED PLANS ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. THE CONTRACTOR SHALL HAVE A RESPONSIBLE PARTY WHO SHALL HAVE THE AUTHORITY TO REPRESENT AND ACT FOR THE CONTRACTOR AT THE JOB SITE DURING ALL WORKING HOURS.
9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS BY THE CITY OF LIBERTY LAKE PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL PROTECT ALL CATCH BASINS, DRYWELLS, AND OTHER STORM DRAINAGE STRUCTURES FROM BEING CONTAMINATED WITH SILT BY INSTALLING FILTER FABRIC OVER THE METAL FRAME DURING CONSTRUCTION AND KEEPING IT IN PLACE UNTIL THE SITE HAS BEEN PAVED AND CLEANED.
11. CUT SLOPES IN SOLID ROCK SHALL NOT EXCEED 1/2:1 (HORIZONTAL:VERTICAL), AND SOIL CUT SLOPES SHALL NOT EXCEED 2:1 (HORIZONTAL: VERTICAL), EXCEPT AS SHOWN OTHERWISE ON THE PLANS.
12. FILL SLOPES AROUND THE PROPERTY SHOULD BE DESIGNED FOR A MAXIMUM SLOPE OF 2:1 (HORIZONTAL:VERTICAL), EXCEPT AS SHOWN OTHERWISE ON THE PLANS.
13. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO CONSTRUCT AND INSTALL TO PROPER WORKING ORDER, THE DESIGN SHOWN, AS DETAILED OR CALLED OUT ON THESE PLANS AND SPECIFICATIONS.
14. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE CITY OF LIBERTY LAKE CONSTRUCTION INSPECTOR PRIOR TO THE START OF CONSTRUCTION.
15. THE CONTRACTOR SHALL PROVIDE THE DESIGN ENGINEERS WITH RECORD DRAWINGS PRIOR TO FINAL APPROVAL. ALL DEVIATIONS FROM THE ORIGINAL PLANS MADE DURING THE COURSE OF THE CONSTRUCTION INCLUDING LOCATION, INVERTS, AND DEPTHS OF UTILITIES SHALL BE CLEARLY MARKED IN THE RECORD DRAWINGS. THE ENGINEERS SHALL PROVIDE THE CITY ENGINEER WITH "RECORD DRAWINGS" AS REQUIRED.
16. THE SURVEY IS FOR INFORMATIONAL PURPOSES ONLY. NO CERTIFICATIONS ARE EXPRESSED OR IMPLIED. THE SURVEY WAS PROVIDED BY OTHERS.
17. IF CONSTRUCTION IS TO TAKE PLACE IN PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL NOTIFY THE CITY OF LIBERTY LAKE AND OBTAIN ALL THE REQUIRED APPROVALS AND PERMITS. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLANS IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS REQUIRED. PRIOR TO DISRUPTION OF ANY TRAFFIC, TRAFFIC PLAN SHALL BE PREPARED AND SUBMITTED TO THE GOVERNING MUNICIPALITY FOR APPROVAL. NO WORK SHALL COMMENCE UNTIL ALL APPROVED TRAFFIC CONTROL IS IN PLACE.



VICINITY MAP

NOT TO SCALE



CONTACTS:

OWNER:
TRIMONT REAL ESTATE ADVISORS
2 PARK PLAZA JAMBOREE CENTER, SUITE 850
IRVINE, CA 92614-8515
PHONE: (949) 862-1455
CONTACT: ELIAS BASHOURA

LANDSCAPE ARCHITECT:

MTLA
203 NORTH WASHINGTON, SUITE 400
SPOKANE, WA 99201 USA
PHONE: (509) 838-8568
CONTACT: MICHAEL D. TERRELL, ASLA

CIVIL ENGINEER:

DCI ENGINEERS
707 W. 2ND AVENUE
SPOKANE, WA 99201
PHONE: (509) 455-4448
CONTACT: MATT GIBB, P.E.

SITE LIGHTING DESIGNER:

TRINDERA ENGINEERING
1875 N. LAKEWOOD DR. #201
COEUR D'ALENE, IDAHO 83814
PHONE: (208) 676-8001
CONTACT: BARBARA BARKER

UTILITY PURVEYORS:

PUBLIC WORKS:
CITY OF LIBERTY LAKE
22710 E. COUNTRY VISTA DRIVE
LIBERTY LAKE, WA 99019
(509) 755-6730
CONTACT: ANDREW STAPLES

WATER:

LIBERTY LAKE SEWER & WATER DISTRICT
22510 E. MISSION AVENUE
LIBERTY LAKE, WA 99019
(509) 922-5443
CONTACT: BIJAY ADAMS

FIRE DEPARTMENT:

SPOKANE VALLEY FIRE DEPARTMENT
2120 N. WILLBUR
SPOKANE VALLEY, WA 99206
PHONE: (509) 928-1700
CONTACT: BRYAN COLLINS, FIRE CHIEF

SEWER:

LIBERTY LAKE SEWER & WATER DISTRICT
22510 E. MISSION AVENUE
LIBERTY LAKE, WA 99019
PHONE: (509) 922-5443
CONTACT: BIJAY ADAMS

POWER:

AVISTA UTILITIES
N. LIBERTY LAKE RD
LIBERTY LAKE, WA 99019
PHONE: (800) 227-9187

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CONTRACTOR NOTE

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



LIBERTY LAKE BUSINESS PARK
22425 E. APPLEWAY AVENUE
LIBERTY LAKE, WASHINGTON

PROJECT FILE:

SHEET TITLE:

CIVIL INFORMATION
SHEET

SHEET NO. C0.0

PREPARED BY: _____



SIGNATURE:

REVISIONS:

APPROVALS:

Job No.:	15-42-0003
Proj. Manager:	MHN
Drawn:	JFS
Reviewed:	EA
Dwg. Chk.	MHN
Date:	12-15-15
Scale:	N/A

APPROVALS:

	1	2	3	4	5	6	7	
A	<div>EROSION AND SEDIMENT CONTROL NOTES:</div> <div>GENERAL EROSION CONTROL NOTES</div> <div><div><div>1. AN EROSION/SEDIMENTATION CONTROL (ESC) PLAN IS REQUIRED FOR THIS PROJECT. IMPLEMENTATION OF THE ESC PLAN, AND CONSTRUCTION, MAINTENANCE, AND UPGRADING OF THE ESC FACILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND ACCEPTED BY THE CITY OF LIBERTY LAKE, OR UNTIL VEGETATION IS ESTABLISHED THROUGHOUT THE SITE AND ACCEPTED BY THE CITY OF LIBERTY LAKE, WHICHEVER IS LATER.</div><div>2. APPROVAL OF THE ESC PLAN DOES NOT CONSTITUTE APPROVAL OF ANY OF THE PROPOSED STORM WATER, GRADING, OR UTILITY DESIGN ELEMENTS SHOWN ON THE ESC PLAN.</div><div>3. THE EROSION/SEDIMENTATION CONTROL MEASURES SHOWN ARE THE MINIMUM REQUIREMENTS OF THE ANTICIPATED SITE CONDITIONS. THE CONTRACTOR SHALL INSPECT AND MAINTAIN THESE ESC MEASURES DAILY, AND SHALL MAINTAIN AND UPGRADE THESE MEASURES AS NECESSARY TO PREVENT SEDIMENT-LADEN WATER FROM EITHER FLOWING OFF SITE, OR INTO NEW/EXISTING STORM WATER FACILITIES, SUCH AS DRYWELLS, CULVERTS, OR GRAVEL GALLERIES.</div><div>4. CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE ROCK CONSTRUCTION ENTRIES AT ANY AND ALL LOCATIONS USED TO ENTER OR EXIT THE PROJECT SITE.</div><div>5. ANY DISTURBED AREAS, EXCEPT FOR POND BOTTOM AND SLOPES, THAT WOULD BE LEFT BARE FOR MORE THAN 7 DAYS AND NOT INTENDED TO BE REWORKED WITHIN 30-45 DAYS SHALL BE SEEDED WITH A FAST STARTING NATIVE DRYLAND GRASS SUCH AS ANNUAL RYE, OR APPROVED EQUAL AT A RATE OF 60 LBS./ACRE.</div><div>6. GRADED AREAS, THAT WILL BE LEFT BARE FOR MORE THAN 7 DAYS, SHALL HAVE A MULCH APPLIED AT A RATE OF TWO THOUSAND (2,000) POUNDS PER ACRE. MULCH SHALL BE A VIRGIN WOOD CELLULOSE FIBER SPECIALLY PROCESSED AS A HYDROSEEDING MULCH AND CONTAINING NO GROWTH OR GERMINATION INHIBITING FACTORS. IF POND CONSTRUCTION HAS BEEN COMPLETED, INCLUDING DRAINAGE STRUCTURES, AND HAVE RECEIVED FINAL INSPECTION APPROVAL, THEY SHALL BE SODDED.</div><div>7. DUST CONTROL: AN APPROVED METHOD OF DUST CONTROL, MEETING THE REQUIREMENTS OF LOCAL REGULATIONS, SHALL BE UTILIZED DURING CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MATERIALS THAT SPILL ONTO LOCAL STREETS DURING THE TRANSPORTATION OF THE EQUIPMENT. SHOULD A SPILL OCCUR, THE CONTRACTOR SHALL REMOVE THE MATERIAL BY THE END OF THE WORK DAY. NO MATERIAL SHALL BE ALLOWED TO SET, DRY, OR BE WASHED INTO ADJACENT STORM WATER FACILITIES.</div><div>8. GEOTEXTILE FABRIC IS TO BE PLACED ON THE RIMS OF DRYWELLS, CATCH BASINS, AND INLETS UNTIL SUCH TIME AS THE VEGETATION ON THE SITE IS ESTABLISHED AND THE THREAT OF SEDIMENT DEPOSITION INTO THE DRAINAGE SYSTEM IS MITIGATED.</div><div>9. THE CONTRACTOR SHALL PROTECT ALL CATCH BASINS, DRYWELLS, AND OTHER STORM WATER STRUCTURES FROM BEING CONTAMINATED WITH SILT BY INSTALLING FILTER FABRIC OVER THE METAL FRAME DURING CONSTRUCTION AND KEEPING IT IN PLACE UNTIL THE SITE HAS BEEN PAVED AND CLEARED.</div></div><div>EROSION CONTROL MAINTENANCE NOTES</div><div><div>1. SEDIMENT BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RUNOFF-PRODUCING RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL (24 CONTINUOUS HOURS OR 48 HOURS IN ANY ONE WEEK).</div><div>2. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.</div><div>3. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RUNOFF-PRODUCING RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ½ THE HEIGHT OF THE FILTER FABRIC BARRIER, ½ THE DEPTH OF THE CUTOFF DITCH, OR ½ THE VOLUME OF THE SEDIMENT POND.</div><div>4. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE ESC STRUCTURE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED, AND HYDRO/HAND SEEDED OR SODDED.</div><div>5. ALL TEMPORARY AND PERMANENT ESC PRACTICES SHALL BE MAINTAINED AND PREPARED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.</div><div>6. ALL TEMPORARY ESC MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY ESC MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL WITHOUT PERMISSION OF THE ENGINEER OR INSPECTOR THAT RESULT IN CONTAMINATION OF THE DRYWELLS SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO REMEDY. REMEDY MAY ENTAIL DRYWELL CLEANING OR REMOVAL AND RECONSTRUCTION.</div></div></div> <div><div>SPOKANE REGIONAL STORMWATER MANUAL</div><div>APPENDIX 9A- ESC STANDARD PLAN NOTES:</div><div><div>1. THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE FOLLOWED IN ORDER TO BEST MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENTATION CONTROL PROBLEMS:<div><div>(A) CLEAR AND GRUB SUFFICIENTLY FOR INSTALLATION OF TEMPORARY ESC BMPS;</div><div>(B) INSTALL TEMPORARY ESC BMPS, CONSTRUCTING SEDIMENT TRAPPING BMPS AS ONE OF THE FIRST STEPS PRIOR TO GRADING;</div><div>(C) CLEAR, GRUB AND ROUGH GRADE FOR ROADS, TEMPORARY ACCESS POINTS AND UTILITY LOCATIONS;</div><div>(D) STABILIZE ROADWAY APPROACHES AND TEMPORARY ACCESS POINTS WITH THE APPROPRIATE CONSTRUCTION ENTRY BMP;</div><div>(E) CLEAR, GRUB AND GRADE INDIVIDUAL LOTS OR GROUPS OF LOTS;</div><div>(F) TEMPORARILY STABILIZE, THROUGH RE-VEGETATION OR OTHER APPROPRIATE BMPS, LOTS OR GROUPS OF LOTS IN SITUATIONS WHERE SUBSTANTIAL CUT OR FILL SLOPES ARE A RESULT OF THE SITE GRADING;</div><div>(G) CONSTRUCT ROADS, BUILDINGS, PERMANENT STORM WATER FACILITIES (I.E. INLETS, PONDS, UIC FACILITIES, ETC.);</div><div>(H) PROTECT ALL PERMANENT STORM WATER FACILITIES UTILIZING THE APPROPRIATE BMPS;</div><div>(I) INSTALL PERMANENT ESC CONTROLS, WHEN APPLICABLE; AND,</div><div>(J) REMOVE TEMPORARY ESC CONTROLS WHEN:</div></div></div><div>2. PERMANENT ESC CONTROLS, WHEN APPLICABLE, HAVE BEEN COMPLETELY INSTALLED;</div><div>3. ALL LAND-DISTURBING ACTIVITIES THAT HAVE THE POTENTIAL TO CAUSE EROSION OR SEDIMENTATION PROBLEMS HAVE CEASED; AND,</div><div>4. VEGETATION HAD BEEN ESTABLISHED IN THE AREAS NOTED AS REQUIRING VEGETATION ON THE ACCEPTED ESC PLAN ON FILE WITH THE LOCAL JURISDICTION.</div><div>5. INSPECT ALL ROADWAYS, AT THE END OF EACH DAY, ADJACENT TO THE CONSTRUCTION ACCESS ROUTE. IF IT IS EVIDENT THAT SEDIMENT HAS BEEN TRACKED OFF SITE AND/OR BEYOND THE ROADWAY APPROACH, CLEANING IS REQUIRED.</div><div>6. IF SEDIMENT REMOVAL IS NECESSARY PRIOR TO STREET WASHING, IT SHALL BE REMOVED BY SHOVELING OR PICKUP SWEEPING AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.</div><div>7. IF STREET WASHING IS REQUIRED TO CLEAN SEDIMENT TRACKED OFF SITE, ONCE SEDIMENT HAS BEEN REMOVED, STREET WASH WASTEWATER SHALL BE CONTROLLED BY PUMPING BACK ON-SITE OR OTHERWISE PREVENTED FROM DISCHARGING INTO SYSTEMS TRIBUTARY TO WATERS OF THE STATE.</div><div>8. RESTORE CONSTRUCTION ACCESS ROUTE EQUAL TO OR BETTER THAN THE PRE-CONSTRUCTION CONDITION.</div><div>9. RETAIN THE DUFF LAYER, NATIVE TOPSOIL, AND NATURAL VEGETATION IN AN UNDISTURBED STATE TO THE MAXIMUM EXTENT PRACTICAL.</div><div>10. INSPECT SEDIMENT CONTROL BMPS WEEKLY AT A MINIMUM, DAILY DURING A STORM EVENT, AND AFTER ANY DISCHARGE FROM THE SITE (STORMWATER OR NON-STORMWATER). THE INSPECTION FREQUENCY MAY BE REDUCED TO ONCE A MONTH IF THE SITE IS STABILIZED AND INACTIVE.</div><div>11. CONTROL FUGITIVE DUST FROM CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE STATE AND/OR LOCAL AIR QUALITY CONTROL AUTHORITIES WITH JURISDICTION OVER THE PROJECT AREA.</div><div>12. STABILIZE EXPOSED UNWORKED SOILS (INCLUDING STOCKPILES), WHETHER AT FINAL GRADE OR NOT, WITHIN 10 DAYS DURING THE REGIONAL DRY SEASON (JULY 1 THROUGH SEPTEMBER 30) AND WITHIN 5 DAYS DURING THE REGIONAL WET SEASON (OCTOBER 1 THROUGH JUNE 30). SOILS MUST BE STABILIZED AT THE END OF A SHIFT BEFORE A HOLIDAY WEEKEND IF NEEDED BASED ON THE WEATHER FORECAST. THIS TIME LIMIT MAY ONLY BE ADJUSTED BY A LOCAL JURISDICTION WITH A "QUALIFIED LOCAL PROGRAM," IF IT CAN BE DEMONSTRATED THAT THE RECENT PRECIPITATION JUSTIFIES A DIFFERENT STANDARD AND MEETS THE REQUIREMENTS SET FORTH IN THE CONSTRUCTION STORM WATER GENERAL PERMIT.</div><div>13. PROTECT INLETS, DRYWELLS, CATCH BASINS AND OTHER STORM WATER MANAGEMENT FACILITIES FROM SEDIMENT, WHEATHER OR NOT FACILITIES ARE OPERABLE.</div><div>14. KEEP ROADS ADJACENT TO INLETS CLEAN.</div><div>15. INSPECT INLETS WEEKLY AT A MINIMUM AND DAILY DURING STORM EVENTS.</div><div>16. CONSTRUCT STORM WATER CONTROL FACILITIES (DETENTION/RETENTION STORAGE POND OR SWALES) BEFORE GRADING BEGINS. THESE FACILITIES SHALL BE OPERATIONAL BEFORE THE CONSTRUCTION OF IMPERVIOUS SITE IMPROVEMENTS.</div><div>17. STOCKPILE MATERIALS (SUCH AS TOPSOIL) ON SITE, KEEPING OFF OF ROADWAY AND SIDEWALKS.</div><div>18. COVER, CONTAIN AND PROTECT ALL CHEMICALS, LIQUID PRODUCTS, PETROLEUM PRODUCT, AND NON-INERT WASTES PRESENT ON SITE FROM VANDALISM (SEE CHAPTER 173-304 WAC FOR THE DEFINITION OF INERT WASTE), USE SECONDARY CONTAINMENT FOR ON-SITE FUELING TANKS.</div><div>19. CONDUCT MAINTENANCE AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDRAULIC SYSTEM REPAIRS, SOLVENT AND DE-GREASING OPERATIONS, FUEL TANK DRAIN DOWN AND REMOVAL, AND OTHER ACTIVITIES THAT MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORM WATER RUNOFF USING SPILL PREVENTION MEASURES, SUCH AS DRIP PANS. CLEAN ALL CONTAMINATED SURFACES IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILL, INCLUDING IF RAINING OVER EQUIPMENT OR VEHICLE, PERFORM EMERGENCY REPAIRS ON SITE USING TEMPORARY PLASTIC BENEATH THE VEHICLE.</div><div>20. CONDUCT APPLICATION OF AGRICULTURAL CHEMICALS, INCLUDING FERTILIZERS AND PESTICIDES, IN SUCH A MANNER, AND AT APPLICATION RATES, THAT INHIBITS THE LOSS OF CHEMICALS INTO STORM WATER RUNOFF FACILITIES. AMEND MANUFACTURER'S RECOMMENDED APPLICATION RATES AND PROCEDURES TO MEET THIS REQUIREMENT, IF NECESSARY.</div><div>21. INSPECT ON A REGULAR BASIS (AT A MINIMUM WEEKLY, AND DAILY DURING/AFTER A RUNOFF PRODUCING STORM EVENT) AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPS TO ENSURE SUCCESSFUL PERFORMANCE OF THE BMPS. NOTE THAT INLET PROTECTION DEVICES SHALL BE CLEANED OR REMOVED AND REPLACE BEFORE SIX INCHES OF SEDIMENT CAN ACCUMULATE.</div><div>22. REMOVE TEMPORARY ESC BMPS WITHIN 30 DAYS AFTER THE TEMPORARY BMPS ARE NO LONGER NEEDED. PERMANENTLY STABILIZE AREAS THAT ARE DISTURBED DURING THE REMOVAL PROCESS.</div><div>23. PER SPOKANE REGIONAL STORMWATER MANUAL METHODS, A QUALIFIED LICENSED ENGINEER SHALL EVALUATE, CLASSIFY AND DOCUMENT THE SOILS IN THE EXCAVATED DRYWELL INFILTRATION ZONE PRIOR TO INSTALLATION OF THE FILTER FABRIC, DRAINAGE ROCK OR DRYWELL BARREL AND SHALL DETERMINE IF THE SOIL'S CONDITIONS WILL BE SUITABLE AND CAPABLE OF INFILTRATION STORM WATER AT THE DESIGN FLOW RATE. ENGINEER SHALL SUBMIT A COPY OF THE DOCUMENTATION DETAILING THE OBSERVATIONS, THE CONCLUSIONS AND THE BASIS FOR THE CONCLUSIONS TO THE CITY OF LIBERTY LAKE DEVELOPMENT ENGINEERING. IF THE ENGINEER DETERMINES THAT THE SOILS DO NOT MEET THE DESIGN'S REQUIREMENTS OR THE A CONDITION EXISTS PREVENTING THE DRYWELL FROM FUNCTIONING AS DESIGNED, THE DESIGN ENGINEER SHALL BE NOTIFIED AND THE DESIGN REVISED TO MEET EXISTING CONDITIONS. ANY REVISIONS TO THE DESIGN SHALL BE SUBMITTED TO THE CITY OF LIBERTY LAKE FOR REVIEW AND ACCEPTANCE.</div></div></div> <div><div>SPOKANE REGIONAL STORM WATER MANUAL</div><div>9.4.2 ESC PLAN REQUIREMENTS</div><div><div>1) PROPERTY OWNER: TRIMONT REAL ESTATE ADVISORS, LLC</div><div>2) PERMIT APPLICANT: MATT GIBB, DCI ENGINEERS</div><div>3) CONTACT PERSON AT PROJECT SITE: TBD</div><div>4) PROJECT ADDRESS: 22425 E. APPLEWAY AVENUE</div><div>5) PROJECT DESCRIPTION: THE DEMOLITION OF AN APPROX. 4.4 ACRE GRASS FIELD AND CONSTRUCTION OF AN ASPHALT PARKING LOT FOR 411 VEHICLES.</div></div></div>							

PAVING NOTES:

1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH CITY OF LIBERTY LAKE AND WSDOT STANDARD DRAWINGS AND SPECIFICATIONS (LATEST EDITION) UNLESS OTHERWISE NOTED. IF THERE ARE ANY CONFLICTS, THE CITY OF LIBERTY LAKE SPECIFICATIONS SHALL GOVERN.

2. CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES AND THE CITY OF LIBERTY LAKE TO OBTAIN NECESSARY LOCATES 48 HOURS BEFORE CONSTRUCTION BEGINS.

3. CONCRETE, AGGREGATE BASE AND ASPHALTIC MIX DESIGN SHALL BE SUBMITTED BY THE SUPPLIER AND APPROVED IN WRITING BY THE OWNER PRIOR TO ANY ROAD OR PARKING LOT CONSTRUCTION. MATERIALS SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS IN THE SOILS REPORT (IF ONE IS COMPLETED).

4. ALL EXISTING PAVEMENT SHALL BE REMOVED IN THE SECTIONS REQUIRING REMOVAL AND REPLACEMENT. THE EXISTING BASE COURSE MATERIALS IN THESE SECTIONS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR DRY DENSITY @ +/-95% OF THE OPTIMUM MOISTURE CONTENT. ALL COMPACTION SHALL BE DONE IN ACCORDANCE WITH ASTM D-1557. THE NEW PAVEMENT SHALL BE REPLACED TO A DEPTH OF THE PAVEMENT DETAIL SHOWN IN THESE PLANS.

5. ASPHALT/CONCRETE PAVING SHALL CONFORM TO WSDOT STANDARD SPECIFICATIONS (2014) DIVISION 9, HMA CLASS 1/2". ASPHALT PAVED AREAS SHALL BE A MINIMUM OF 2 INCHES OF ASPHALT/CONCRETE PLACED OVER A MINIMUM OF 6 INCHES OF FREE-DRAINING, COMPACT, GRANULAR BASE MATERIAL.

6. ALL AREAS TO BE PAVED SHALL BE CLEARED OF ALL GRASS, ROOTS, TRASH, METAL AND ORGANIC MATERIALS DOWN TO FULL DEPTH BELOW THE PAVING MAT. THE EXPOSED SURFACE SHOULD THEN BE PROOF ROLLED TO 90% OF MAXIMUM COMPACTION AS DETERMINED BY ASTM D-1557 USING A MECHANICAL VIBRATORY COMPACTOR. ANY BACK FILL MATERIAL SHOULD BE SIMILARLY COMPACTED.

7. BEFORE PLACING THE BASE MATERIAL, THE SURFACE OF THE SUBGRADE SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557. THE GRANULAR BASE MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 3 INCHES IN THICKNESS AND COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.

8. BITUMINOUS TACK COAT SHALL BE APPLIED BETWEEN ASPHALT PAVING LIFTS AND SHALL BE USED PRIOR TO OVERLAY, (CSS-1H), 50:50 DILUTION, 0.05 GAL/SY TO 0.15 GAL/SY OR AS DIRECTED BY THE ENGINEER. ALL EDGES ABUTTING NEW PAVEMENT SHALL BE TACKED.

9. ALL VALVE AND MANHOLE COVERS SHALL BE ADJUSTED TO PAVEMENT GRADE DURING INITIAL CONSTRUCTION.

10. ALL TRAFFIC CONTROL, IF REQUIRED, SHALL CONFORM TO THE APPLICABLE REGULATIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

11. ALL THE OPERATIONS SHALL CONFORM TO THE APPLICABLE REGULATIONS SET FORTH BY ICC AND OSHA.

GRADING NOTES:

1. EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE WSDOT STANDARD SPECIFICATIONS. ALL COMPACTION OF SUBGRADES, ROCK, AND ASPHALT SHALL BE IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATIONS.

2. ALL FINISHED GRADING ELEVATIONS SHALL MATCH EXISTING ELEVATIONS AT THE SITE'S BOUNDARY, EXCEPT AS SHOWN OTHERWISE ON THE GRADING PLAN. WHERE CONFLICTS EXIST, THE CONTRACTOR SHALL NOTIFY THE OWNER TO RESOLVE THE ISSUE PRIOR TO PROCEEDING.

3. THE CONTRACTOR MAY WORK WITH THE OWNER AND ARCHITECT TO IDENTIFY ON-SITE BORROW OR WASTE SITES. CONTRACTOR SHALL VERIFY EARTHWORK QUANTITIES.

4. GRADING: ALL GRADING SHALL BE LIMITED TO THE AREAS IDENTIFIED IN THE GRADING PLAN AND SHALL NOT INFRINGE ON ADJACENT OWNERSHIPS, EXCEPT AS SHOWN OTHERWISE ON THE PLANS.

5. CUT SLOPES IN SOLID ROCK SHALL NOT EXCEED 1/2:1 (HORIZONTAL:VERTICAL), AND SOIL CUT SLOPES SHALL NOT EXCEED 2:1 (HORIZONTAL:VERTICAL), EXCEPT AS SHOWN OTHERWISE ON THE PLANS.

6. FILL SLOPES ACROSS THE PROPERTY SHOULD BE DESIGNED FOR A MAXIMUM SLOPE OF 2:1 (HORIZONTAL:VERTICAL), EXCEPT AS SHOWN OTHERWISE ON THE PLANS.

7. ALL CURB AND GUTTER, STREET GRADES, SIDEWALK GRADES, AND ANY OTHER VERTICAL AND OR HORIZONTAL ALIGNMENT SHALL BE STAKED BY AN ENGINEERING OR SURVEYING FIRM CAPABLE OF PERFORMING SUCH WORK.

8. FORM AND SUBGRADE INSPECTION BY THE CITY OF LIBERTY LAKE INSPECTOR IS REQUIRED BEFORE POURING THE CONCRETE. TWENTY-FOUR HOURS NOTICE IS REQUIRED FOR FORM INSPECTION.

9. CONTRACTOR SHALL VERIFY AND MATCH THE EXISTING GRADES. WHERE APPLICABLE GRADES MAY NEED ADJUSTING TO PROVIDE A POSITIVE DRAINAGE SLOPE.

10. TOP OF CURB (T.C.) IS 0.5' ABOVE ACP OR CCP UNLESS OTHERWISE NOTED.

11. RIM ELEVATIONS OF UTILITY AND DRAINAGE STRUCTURES SHALL BE INSTALLED SO THAT RIMS MAY BE ADJUSTED ±0.5' TO MATCH FINISHED GRADE.

12. LAYOUT CURB AND SIDEWALK BEFORE SETTING VALVE BOXES AND UTILITY APPURTENANCES TO ENSURE THERE IS NO CONFLICT BETWEEN STRUCTURES AND HARD SURFACES.

LIBERTY LAKE BUSINESS PARK

22425 E. APPLEWAY AVENUE

LIBERTY LAKE, WASHINGTON

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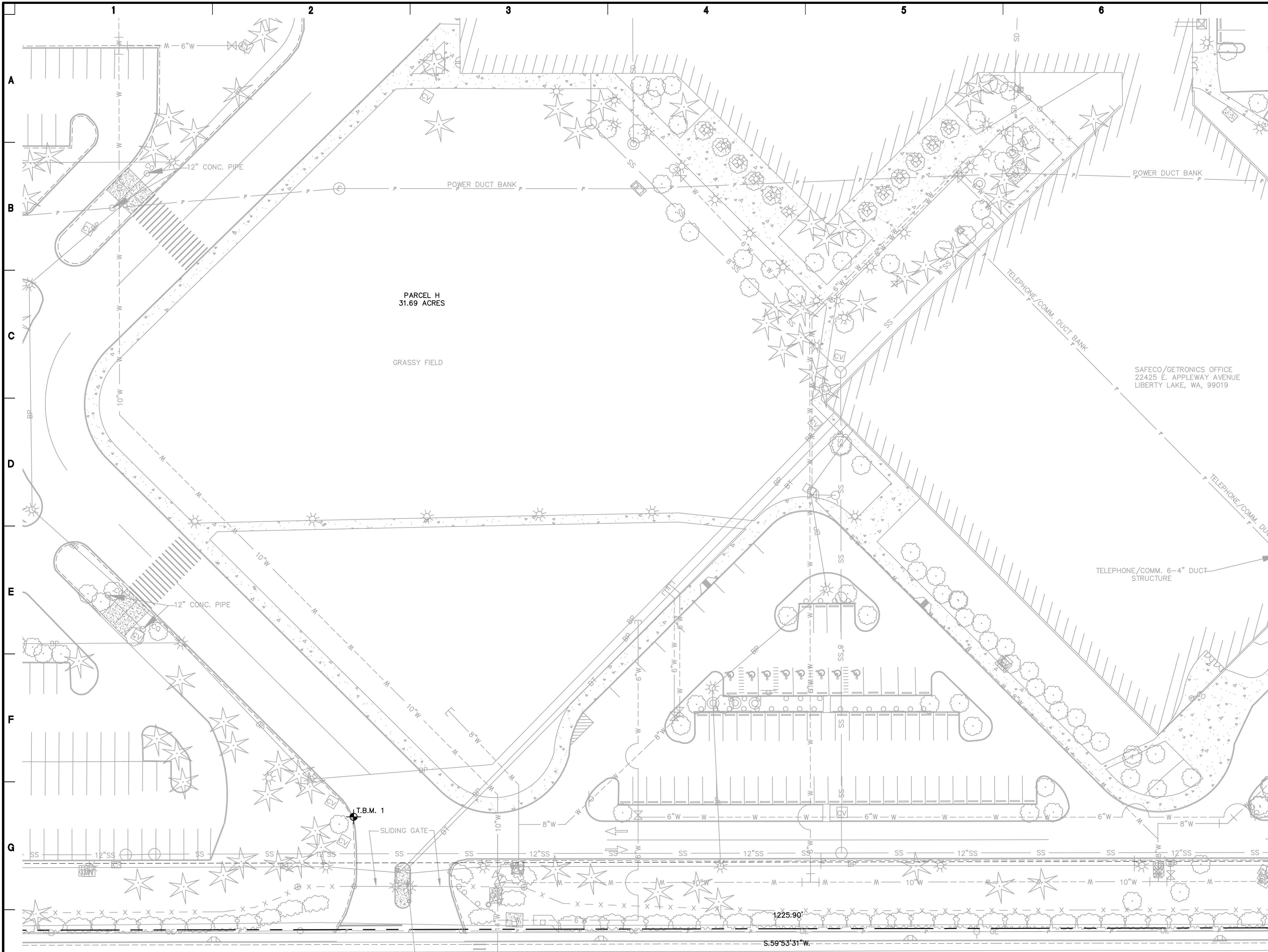
12/16/2015

SIGNATURE: _____

REVISIONS: _____

APPROVALS: _____

Job No.: 15-42-0003
Proj. Manager: MHN
Drawn: JFS
Reviewed: EA
Eng. Chk: MHN
Date: 12-15-15
Scale: N/A



- LEGEND:**
- ===== CURB
 - OE ----- AERIAL POWER
 - BP ----- BURIED POWER
 - 2066 CONTOUR
 - 8\"/>
 - 14\"/>
 - 8\"/>
 - 2\"/>
 - BT ----- BURIED TELEPHONE
 - PROPERTY LINE
 - EDGE OF ASPHALT
 - EDGE OF GRAVEL
 - x - x - x - EXIST. FENCE
 - CONCRETE
 - O FOUND 5/8\"/>
 - CV CONTROL VALVE
 - FH FIRE HYDRANT
 - WV WATER VALVE
 - PI POST INDICATOR
 - WV WATER VALVE
 - SM SEWER MANHOLE
 - TR TRANSFORMER
 - TP TELEPHONE PEDESTAL
 - PP POWER POLE
 - GP GUY POLE
 - S SIGN
 - SSM STORM SEWER MANHOLE
 - L LIGHT
 - S SIGN
 - CI CURB INLET
 - DB DRYWELL
 - CB CATCH BASIN
 - DT DECIDUOUS TREE
 - CT CONIFEROUS TREE

- TBM'S**
- T.B.M. #1 SET PK AS SHOWN ON MAP EL. 2073.65 (NAVD 88)
 - T.B.M. #2 SET PK AS SHOWN ON MAP EL. 2072.10 (NAVD 88)
 - T.B.M. #3 SET PK AS SHOWN ON MAP EL. 2075.68 (NAVD 88)

- NOTES:**
- BOUNDARY WAS CALCULATED FROM FOUND CORNERS AND FROM SPOKANE COUNTY B.S.P. NO. 3 FILED IN BOOK 1, PAGE 73 AND 74 UNDER AUDITOR'S FILE NO. 9511030399.
 - ALL EASEMENTS SHOWN ON SURVEY MAP ARE PER REFERENCES SHOWN BELOW AND PER FIRST AMERICAN TITLE REPORT NO. 4251-660187 (BJT) DATED NOV. 8, 2005

- REFERENCES:**
- H R-1 B.S.P. NO. 3 BK. 1 PG 73-74, FILE NO. 9511030399
 - R-2 ALTA/ACSM LAND TITLE SURVEY BY PATRICK J. MOORE
 - R-3 11TH AMENDMENT TO BINDING SITE PLAN BOOK 1 OF BINDING SITE PLANS, PG. 98L AND 98L-1, FILE NO. 4663410
 - R-4 12TH AMENDMENT TO BINDING SITE PLAN BOOK 1 OF BINDING SITE PLANS, PG. 98M AND 98M-1, FILE NO. 4730633
 - R-5 FIRST AMERICAN TITLE REPORT NO. 4251-660187 (BJT) DATED NOV. 8, 2005

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. TAYLOR ENGINEERING, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, WE DO NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED, ALTHOUGH WE DO CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

SURVEYOR'S CERTIFICATE:

THIS SURVEY IS FOR INFORMATIONAL PURPOSES ONLY. NO CERTIFICATIONS ARE EXPRESSED OR IMPLIED. THE SURVEY WAS FURNISHED BY OTHERS.

CONTRACTOR NOTE

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.

GRAPHIC SCALE

(IN FEET)

1 inch = 30 ft.

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WEBSITE: www.edc-engineers.com

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Job No.:	15-42-0003
Proj. Manager:	MHN
Drawn:	JFS
Reviewed:	EA
Dwg. Chk.	MHN
Date:	12-15-15
Scale:	1" = 30'

PROJECT TITLE:

LIBERTY LAKE BUSINESS PARK

22425 E. APPLEWAY AVENUE

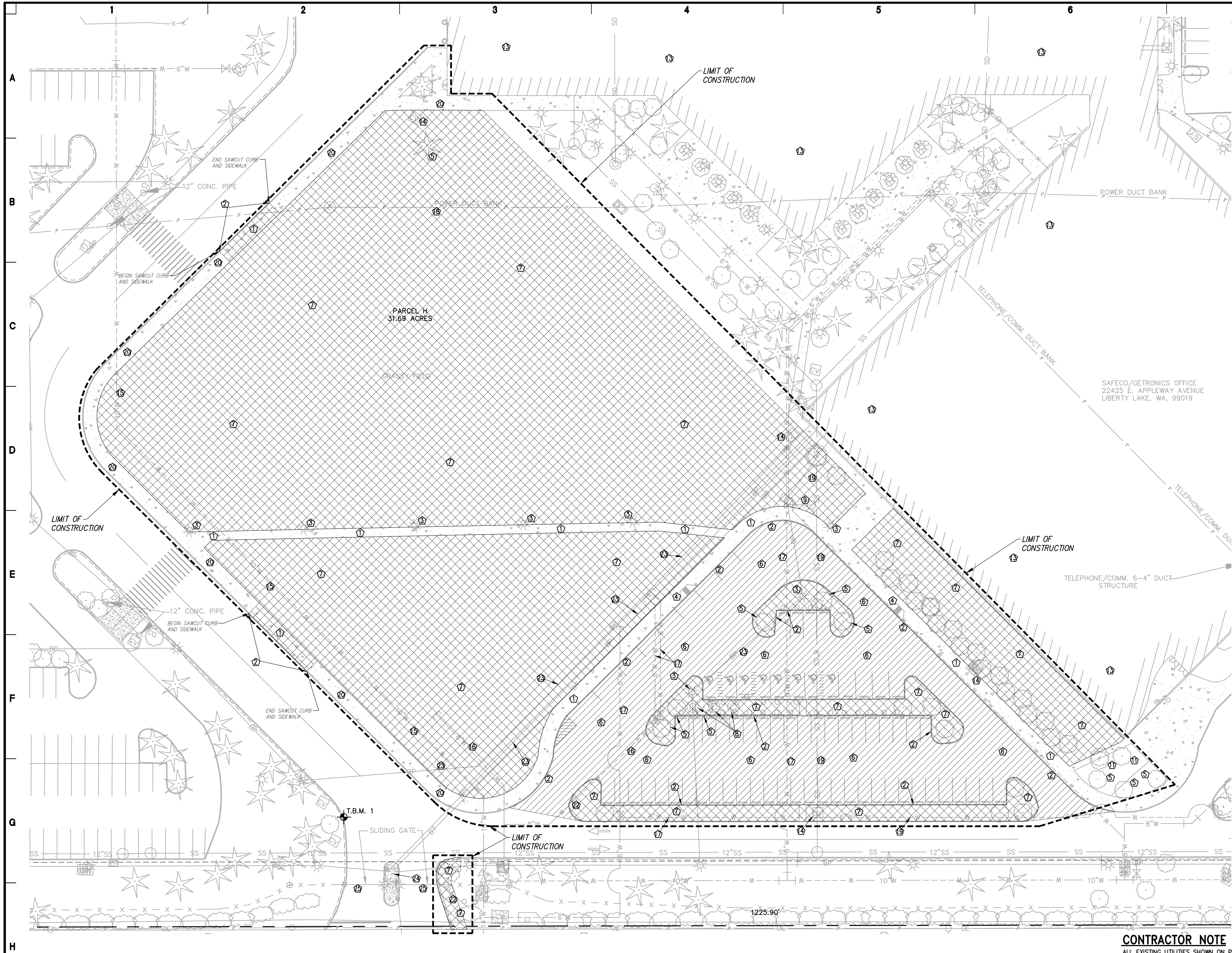
LIBERTY LAKE, WASHINGTON

SHEET TITLE:

EXISTING SITE SURVEY

SHEET NO.


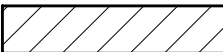
C1.0



DEMOLITION NOTES:

- ① REMOVE EXISTING SIDEWALK. REMOVE AND DISPOSE OF AT AN OFFSITE FACILITY.
- ② REMOVE AND DISPOSE OF EXISTING CURB.
- ③ REMOVE EXISTING LIGHT POLE AND POWER LINE.
- ④ REMOVE EXISTING CURB RAMP.
- ⑤ REMOVE EXISTING TREE.
- ⑥ REMOVE AND DISPOSE OF EXISTING ASPHALT PARKING LOT.
- ⑦ REMOVE AND DISPOSE OF LANDSCAPE AREA.
- ⑧ PROTECT IN PLACE EXISTING DRYWELL.
- ⑨ PROTECT IN PLACE EXISTING FIRE HYDRANT.
- ⑩ PROTECT IN PLACE EXISTING LIGHT POLE.
- ⑪ PROTECT IN PLACE EXISTING LANDSCAPE AREA.
- ⑫ PROTECT IN PLACE EXISTING TRANSFORMER.
- ⑬ PROTECT IN PLACE EXISTING BUILDING AND FOUNDATIONS.
- ⑭ PROTECT IN PLACE EXISTING COMMUNICATION VAULT. ADJUST LID TO GRADE.
- ⑮ PROTECT IN PLACE EXISTING 10" DOMESTIC WATER LINE.
- ⑯ PROTECT IN PLACE EXISTING 8" DOMESTIC WATER LINE.
- ⑰ PROTECT IN PLACE EXISTING 6" DOMESTIC WATER LINE.
- ⑱ PROTECT IN PLACE EXISTING POWER DUCT BANK.
- ⑲ PROTECT IN PLACE EXISTING 8" SEWER LINE.
- ⑳ PROTECT IN PLACE EXISTING SIDEWALK.
- ㉑ PROTECT IN PLACE EXISTING SEWER MANHOLE.
- ㉒ REMOVE EXISTING SIGN.
- ㉓ PROTECT IN PLACE EXISTING BURIED POWER LINE.
- ㉔ REMOVE GUARD SHACK.
- ㉕ REMOVE SLIDING GATE.

LEGEND:

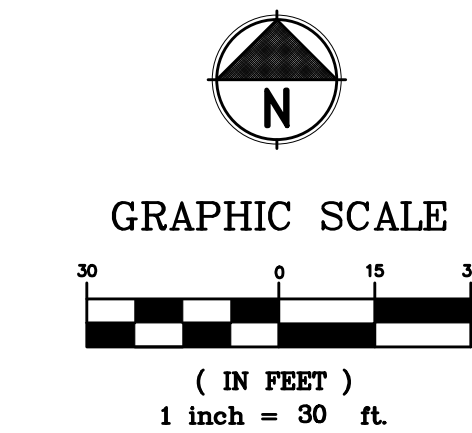
- EXISTING LANDSCAPE REMOVAL 
- EXISTING ASPHALT REMOVAL 

NOTE:

1. CONTRACTOR TO VERIFY LANDSCAPE REMOVAL WITH LANDSCAPE ARCHITECT.

CONTRACTOR NOTE

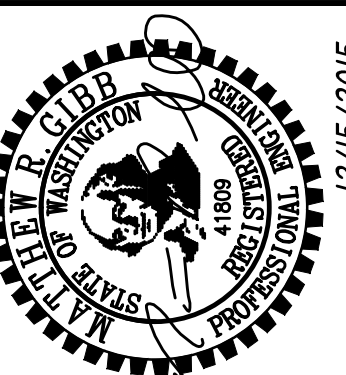
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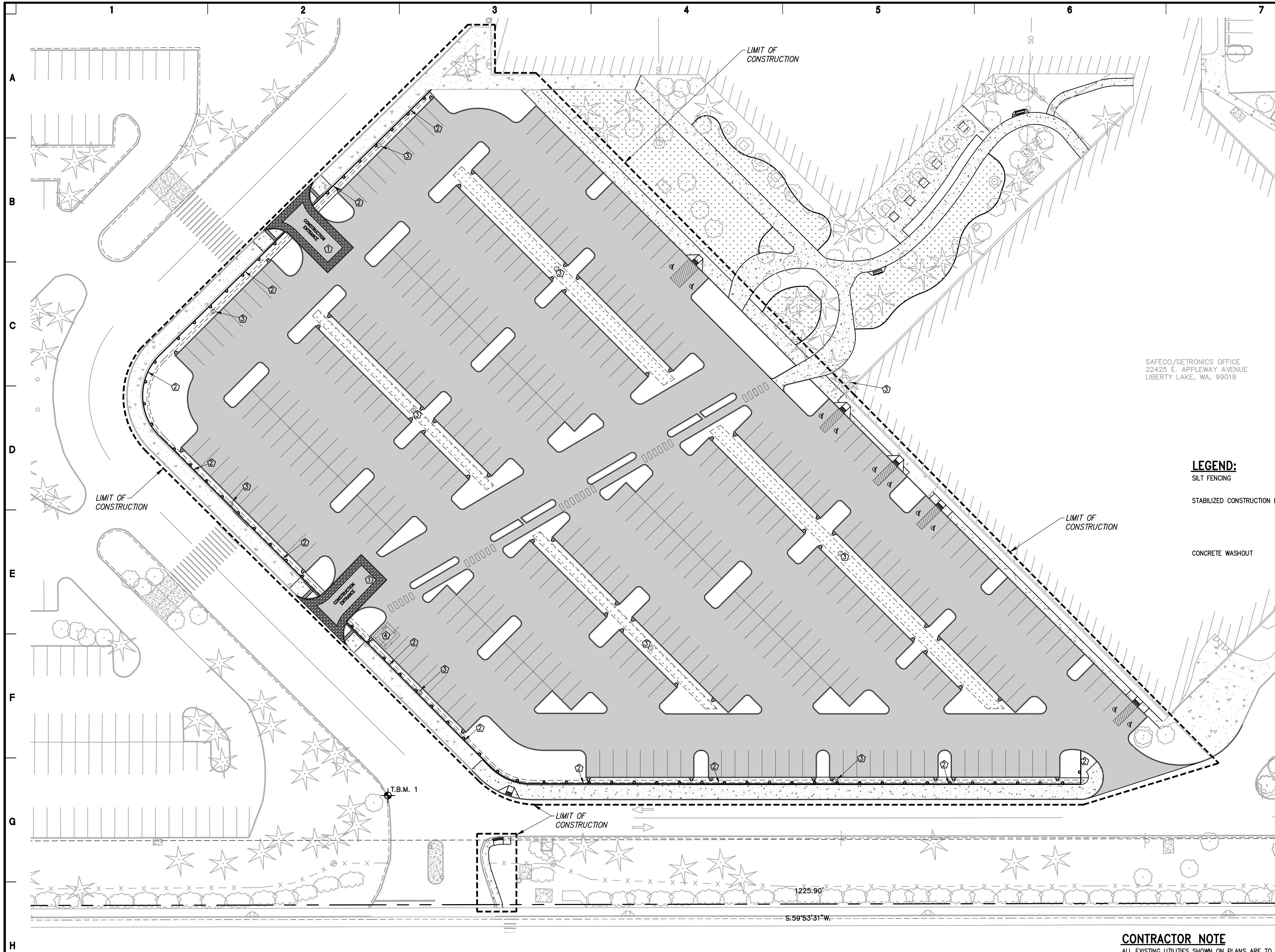
APPROVALS:

Job No.:	15-42-0003
Proj. Manager:	MHN
Draught:	JFS
Reviewed:	EA
Dwg. Chk.:	MHN
Date:	12-15-15
Scale:	1" = 30'

PROJECT TITLE:
LIBERTY LAKE BUSINESS PARK
22425 E. APPLEWAY AVENUE
LIBERTY LAKE, WASHINGTON

SHEET TITLE:
DEMOLITION PLAN

SHEET NO.
CI.1



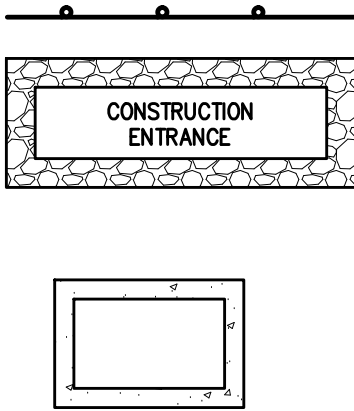
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22425 E. APPLEWAY AVENUE
LIBERTY LAKE, WA, 99019

REFERENCE NOTES:

- 1. CONSTRUCT NEW STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 1/C5.0.
- 2. INSTALL NEW REINFORCED FILTER FABRIC FENCE PER DETAIL 2/C5.0.
- 3. NEW STORM DRAIN INLET PROTECTION PER DETAIL 3/C5.0.
- 4. CONSTRUCT NEW TEMPORARY CONCRETE WASHOUT.

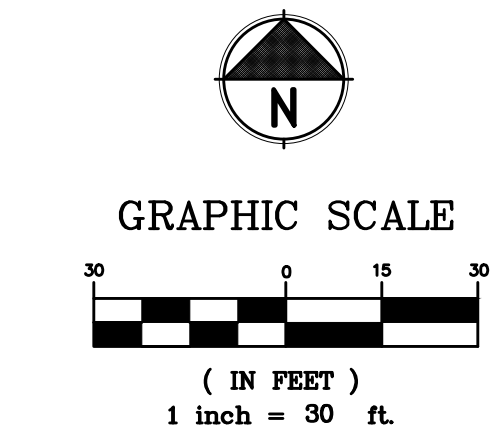
LEGEND:

- SILT FENCING
- STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT



CONTRACTOR NOTE

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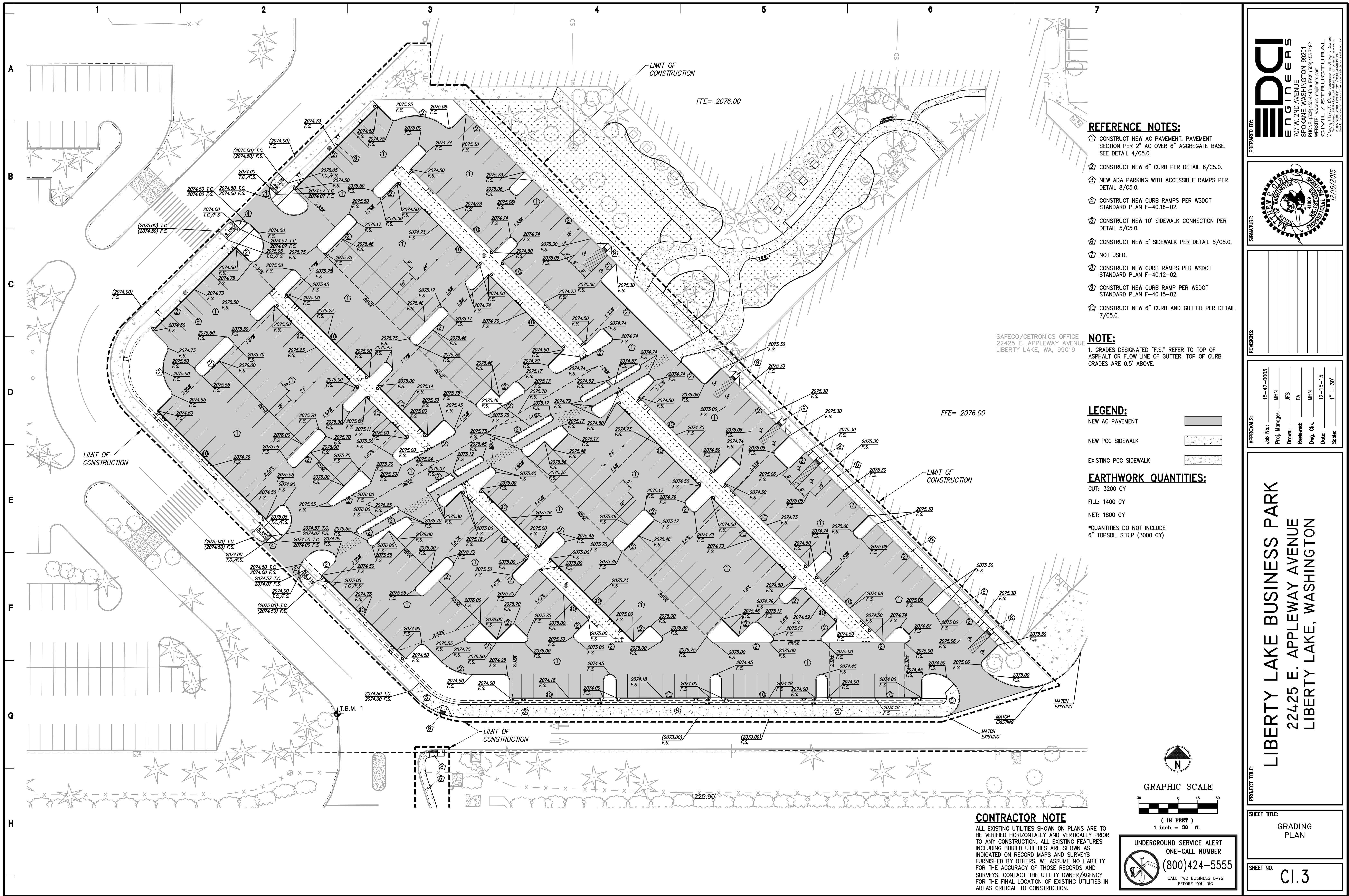
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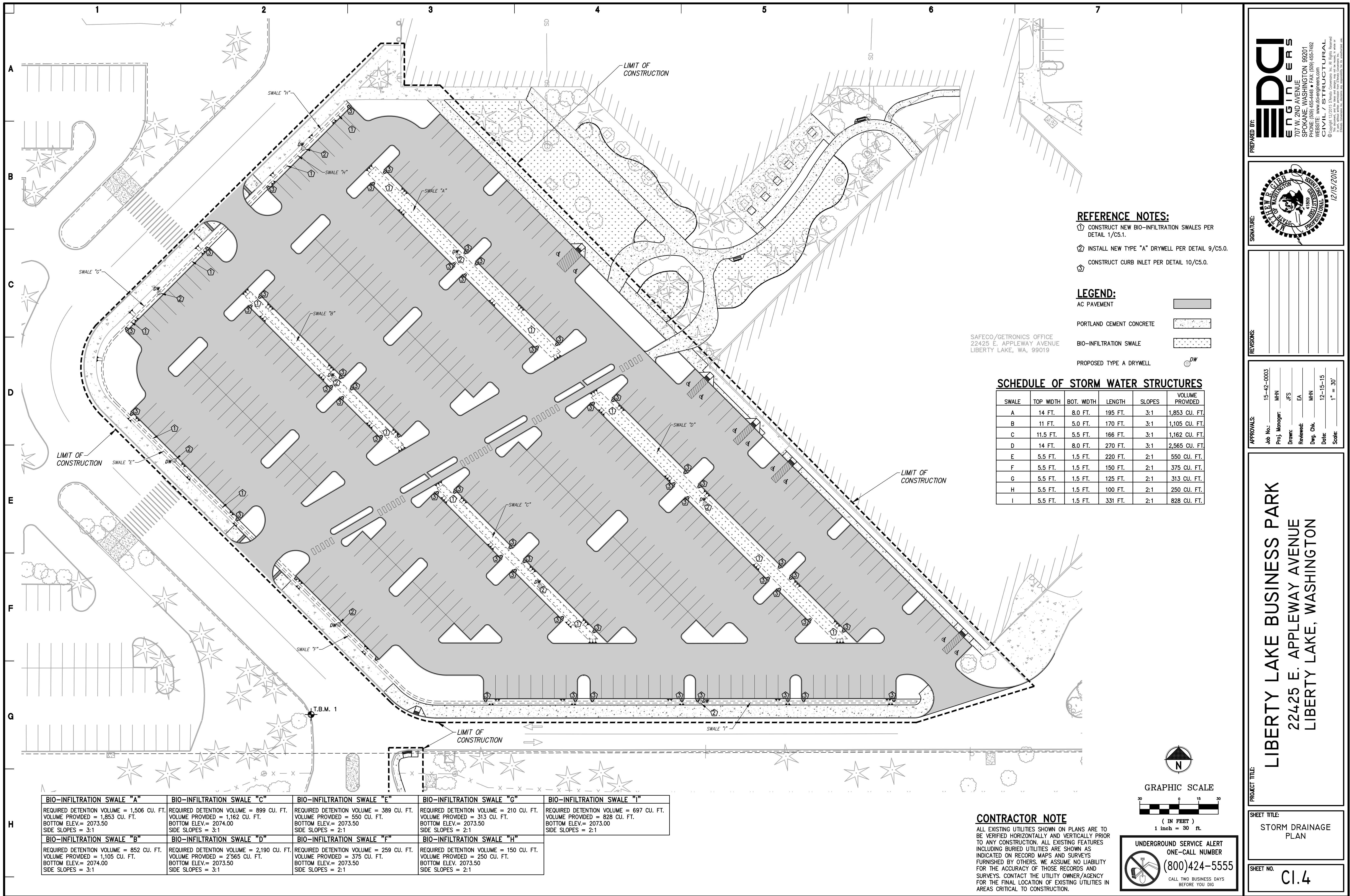
Job No.:	15-42-0003	MHN
Proj. Manager:	JFS	EA
Drawn:	EA	MHN
Reviewed:	EA	12-15-15
Dwg. Chk.:	MHN	12-15-15
Date:	12-15-15	1" = 30'

PROJECT TITLE:
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22425 E. APPLEWAY AVENUE
LIBERTY LAKE, WASHINGTON

SHEET TITLE:
EROSION CONTROL PLAN

SHEET NO.
CI.2





REFERENCE NOTES:

- 1. CONSTRUCT NEW BIO-INFILTRATION SWALES PER DETAIL 1/C5.1.
- 2. INSTALL NEW TYPE "A" DRYWELL PER DETAIL 9/C5.0.
- 3. CONSTRUCT CURB INLET PER DETAIL 10/C5.0.

LEGEND:

- AC PAVEMENT
- PORTLAND CEMENT CONCRETE
- BIO-INFILTRATION SWALE
- PROPOSED TYPE A DRYWELL

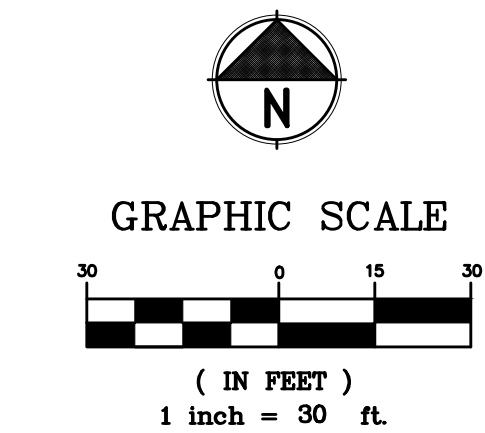
SCHEDULE OF STORM WATER STRUCTURES

SWALE	TOP WIDTH	BOT. WIDTH	LENGTH	SLOPES	VOLUME PROVIDED
A	14 FT.	8.0 FT.	195 FT.	3:1	1,853 CU. FT.
B	11 FT.	5.0 FT.	170 FT.	3:1	1,105 CU. FT.
C	11.5 FT.	5.5 FT.	166 FT.	3:1	1,162 CU. FT.
D	14 FT.	8.0 FT.	270 FT.	3:1	2,565 CU. FT.
E	5.5 FT.	1.5 FT.	220 FT.	2:1	550 CU. FT.
F	5.5 FT.	1.5 FT.	150 FT.	2:1	375 CU. FT.
G	5.5 FT.	1.5 FT.	125 FT.	2:1	313 CU. FT.
H	5.5 FT.	1.5 FT.	100 FT.	2:1	250 CU. FT.
I	5.5 FT.	1.5 FT.	331 FT.	2:1	828 CU. FT.

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12/15/2015

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REVISIONS:

NO.	DESCRIPTION	DATE

APPROVALS:

Job No.:	15-42-0003
Proj. Manager:	MHN
Drawn:	JFS
Reviewed:	EA
Dwg. Chk.:	MHN
Date:	12-15-15
Scale:	1" = 30'

PROJECT TITLE:

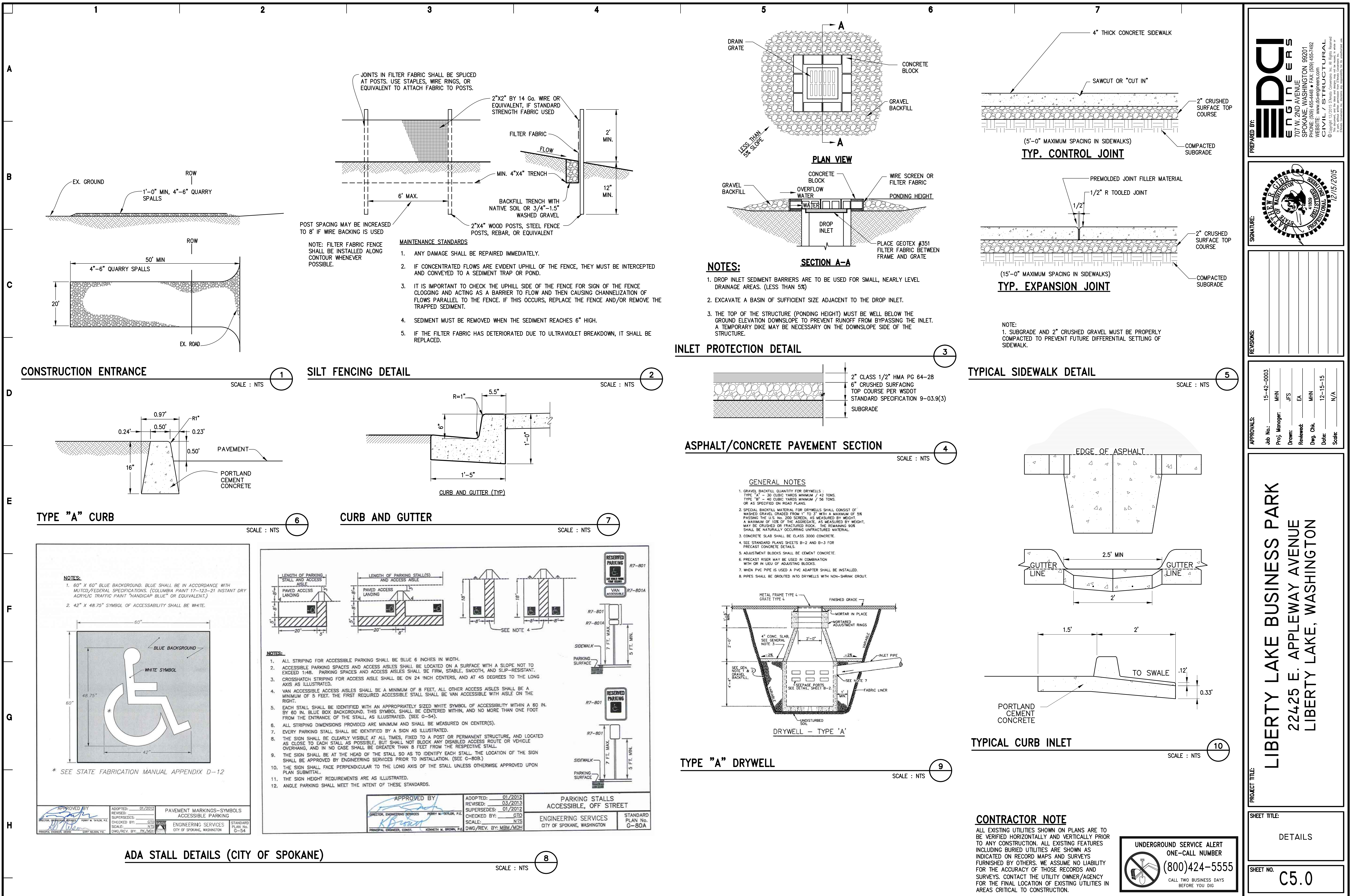
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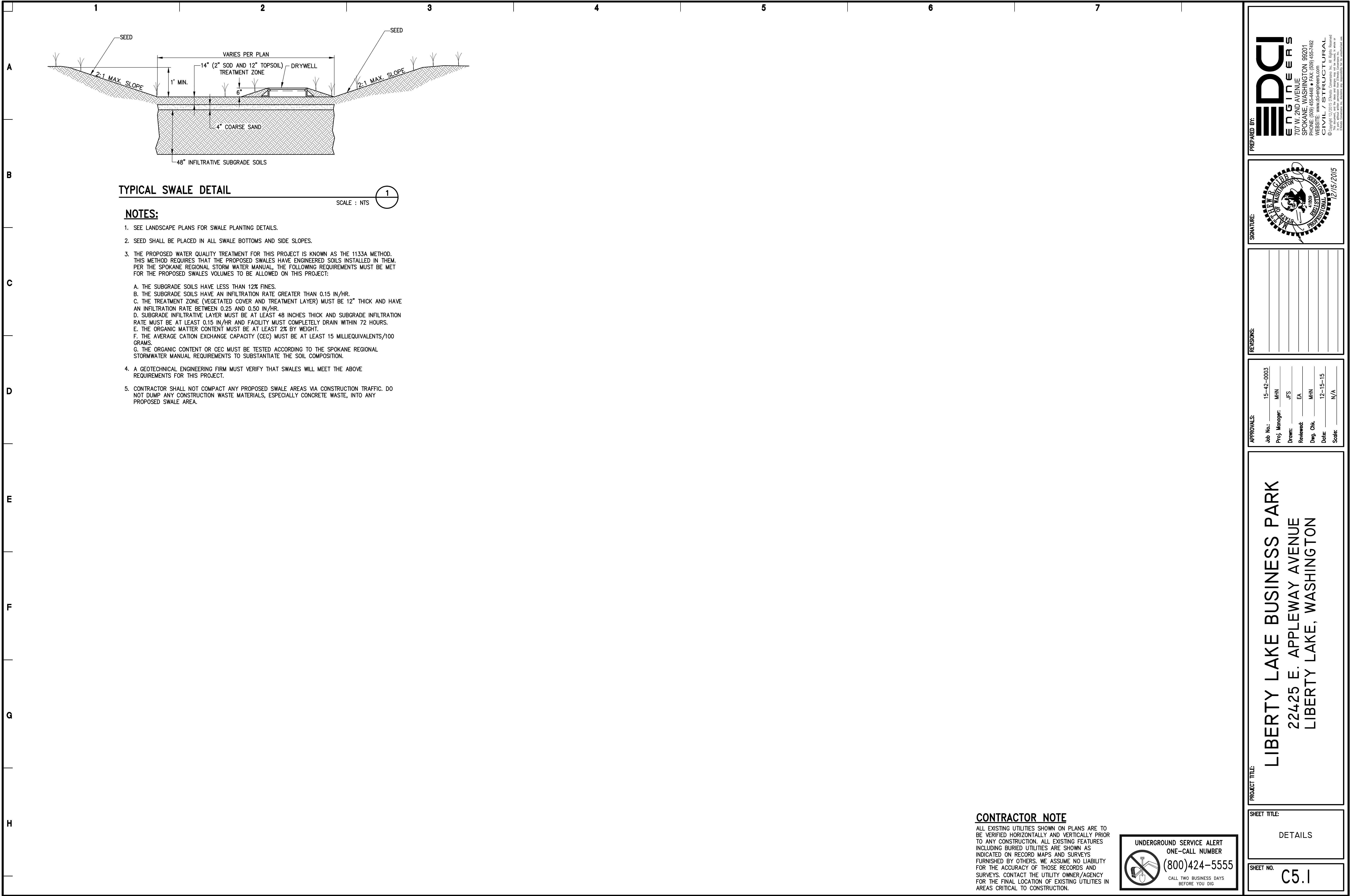
SHEET TITLE:

STORM DRAINAGE PLAN

SHEET NO.

C1.4





CONTRACTOR NOTE

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DETAILS

C5.1

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APPROVALS:	Job No.: 15-42-0003
Proj. Manager: MHN	Drawn: JFS
Reviewed: EA	Eng. Chk: MHN
Date: 12-15-15	Scale: N/A